

NARRATIVE:

Purpose - to replat the east 1/2 of Lot 10, Lots 11, 12, 13 and 14, Block 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, except that portion dedicated for right of way purposes recorded February 24, 2000 in Decree Number 2000-023458, into Condominium units as shown hereon, subject to the easement, dedication and boundary line recorded in Decree Number SN 56772, and record data per said SN 56772 for boundary lines on this survey.

NOTES:

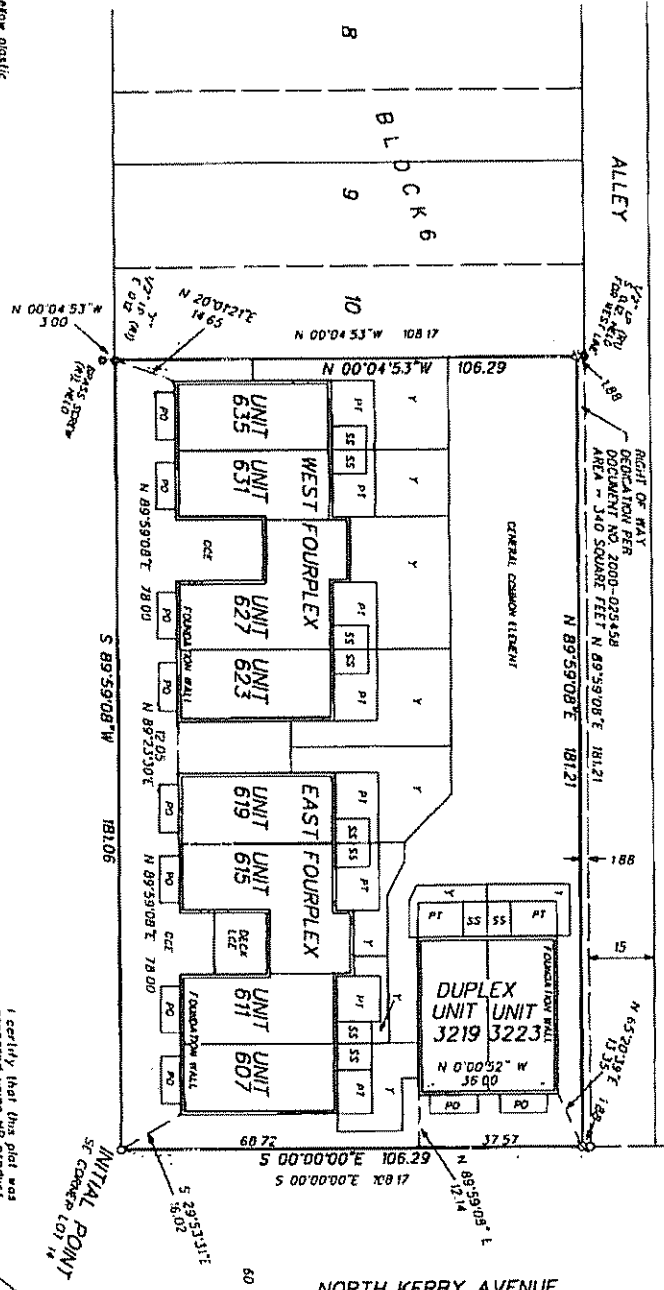
- 1. Building dimensions and lines are to the outside face of the foundation. All building walls are 9" deep at the corners.
- 2. Decks, patios, porches, yard areas and storage spaces are Limited Common Elements.

SHEET INDEX:
 SHEET 1 Boundary and Building Location
 SHEET 2 Unit Details
 SHEET 3 Unit Details
 SHEET 4 Certificate, Declaration and Approvals

**SUBDIVISION OF ALBINA
 RIVERVIEW ADDITION TO
 BLOCK 6**

FARGO ROW CONDOMINIUM

A REPLAT OF THE EAST HALF OF LOT 10, AND LOTS 11, 12, 13, AND 14, BLOCK 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, EXCEPT THAT PORTION DEDICATED FOR RIGHT OF WAY PURPOSES, SITUATED IN THE NW 1/4 OF SECTION 27, T. 1 N., R. 1 E., W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON.



- LEGEND**
- B = 5/8" x 30" iron Rod with yellow plastic cap stamped "BLOCKS PLS 2231"
 - set Jan 28, 2000
 - O = 5/8" iron Rod with yellow plastic cap stamped "BLOCKS PLS 2231"
 - round per SN 56772 and said
 - Monument found as noted, see SN 56772
 - () = Record information
 - Y = Fenced Yard Area
 - Y = Fenced Yard Area
 - CC = General Common Element
 - CC = Limited Common Element
 - SE = Storage Space
 - PT = Porch
 - PO = Patch
 - IP = Iron Pipe
 - IR = Iron Rod
 - VPC = Yellow Plastic Cap
 - SN = Survey Record No per Multnomah County Survey Records

I certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor in the State of Oregon.

REGISTERED PROFESSIONAL LAND SURVEYOR
 JOHN P. REPPETO
 LICENSE NO. 1211
 EXPIRES 12/31/01

I certify that this tracing is a true and exact copy of the original plat.

REPPETO & ASSOCIATES, INC.
 LAND SURVEYORS

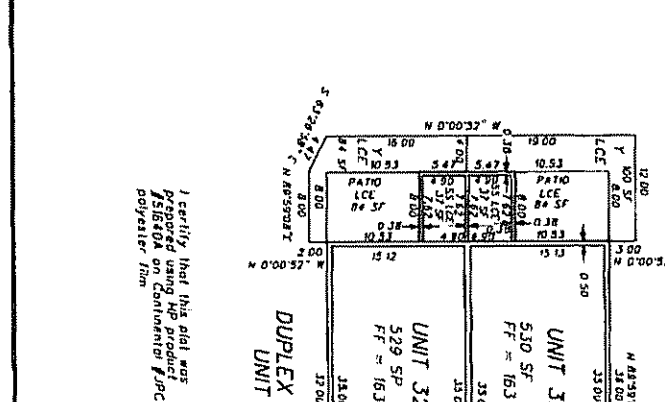
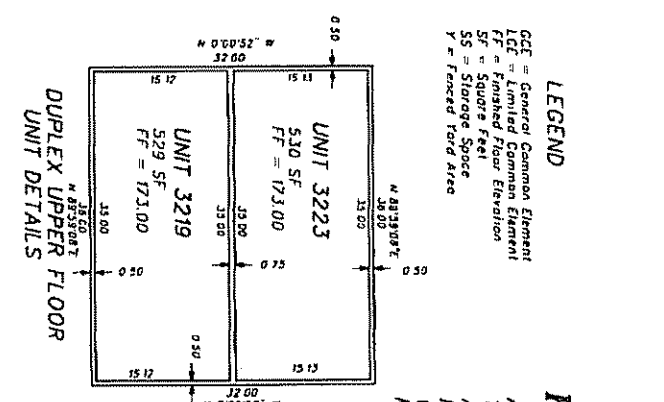
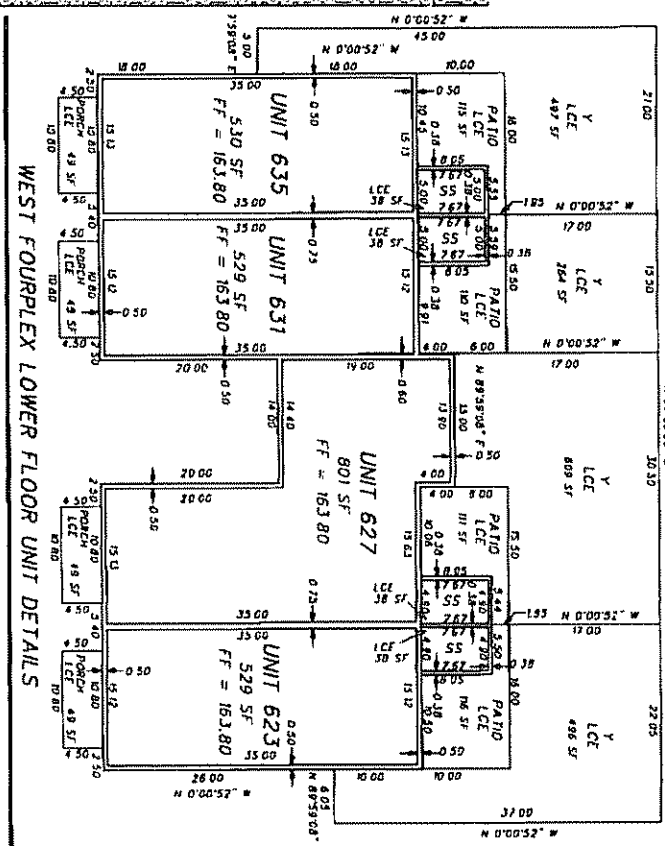
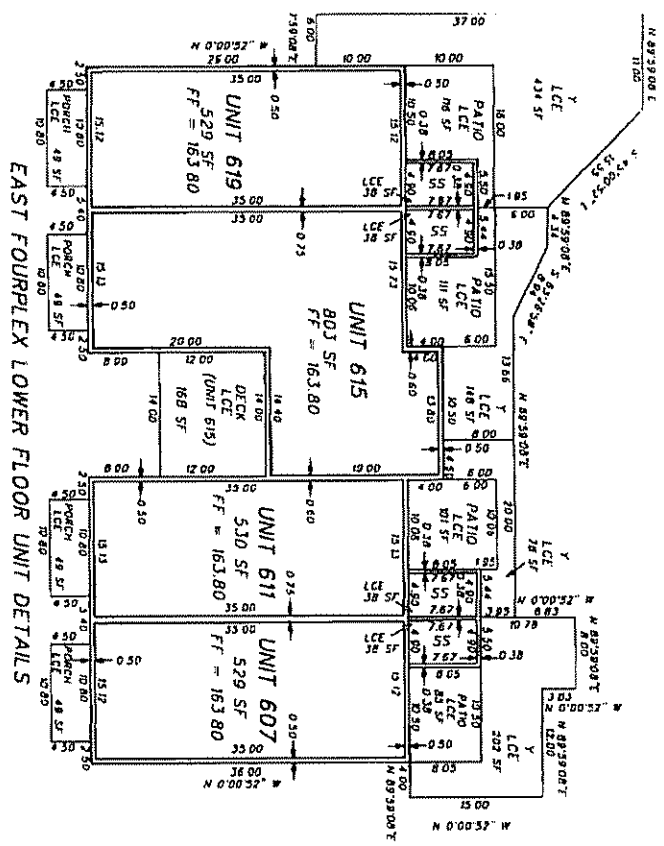
1410 NE 104th Ave - Suite 100
 Portland, OR 97220
 (503) 408-1507
 Fax (503) 408-2370

Date: Jun. 28, 2000
 Drawn By: JWE
 Job No: 99034

SCALE: 1" = 20'
 SHEET 1 OF 4

FARGO ROW CONDOMINIUM

A REPLAT OF THE EAST HALF OF LOT 10, AND LOTS 11, 12, 13, AND 14, BLOCK 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, EXCEPT THAT PORTION DEDICATED FOR RIGHT OF WAY PURPOSES, SITUATED IN THE NW 1/4 OF SECTION 27, T. 1 N., R. 1 E., W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

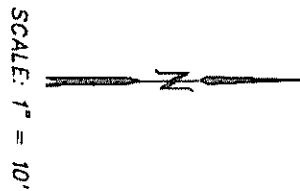


LEGEND

- GCE = General Common Element
- LCE = Limited Common Element
- FF = Finished Floor Elevation
- SF = Square Feet
- SS = Storage Space
- Y = Fenced Yard Area

NOTES:

- Elevations based on City of Portland Bench Mark No. 100, a brass disk in the curb located 1 foot east of the southeast corner of North Commercial Avenue and North Fremont Street, elevation 171.41 feet
- All work and floors shown are General Common Element. All patios, porches, yards, decks and storage spaces are Limited Common Elements. Exterior walls shown reflect the foundation walls shown on
- All walls are 90 degrees of the corners unless noted otherwise
- Upper floor units are directly above lower floor units



I certify that this plat was prepared using the product **AutoCAD** on **Contourline** software polyester film

I certify that this tracing is a true and exact copy of the original plot

REGISTERED PROFESSIONAL LAND SURVEYOR
Steve J. Binkley
 OREGON
 JULY 17, 1986
 STEVEN BINKLEY
 EXPIRES 12/31/2010

REPLETO & ASSOCIATES, INC.
 LAND SURVEYORS
 1410 NE 106th Ave. Suite 100
 Portland, OR 97220
 (503) 408-1507
 Fax (503) 408-2370

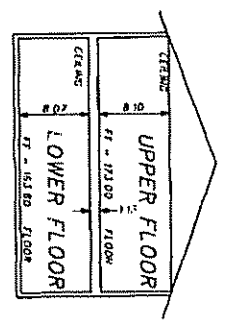
Date Jan 28, 2009 Dwg File W99034E.GCD
 Drawn By JWE Job No 99034

FARGO ROW CONDOMINIUM

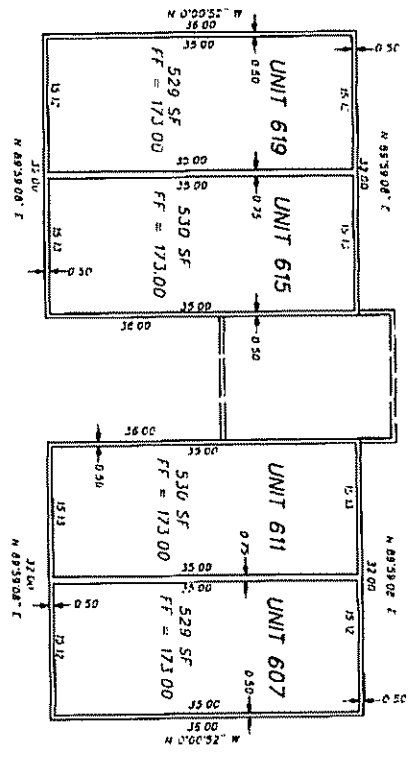
A REPLAT OF THE EAST HALF OF LOT 10, AND LOTS 11, 12, 13 AND 14, BLOCK 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, EXCEPT THAT PORTION DEDICATED FOR RIGHT OF WAY PURPOSES, SITUATED IN THE NW 1/4 OF SECTION 27, T. 1 N., R. 1 E., W.M., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

SCALE: 1" = 10'

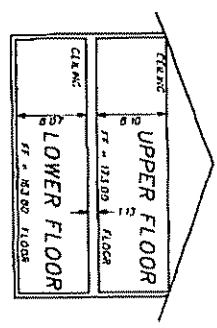
DUPLEX TYPICAL CROSS SECTION



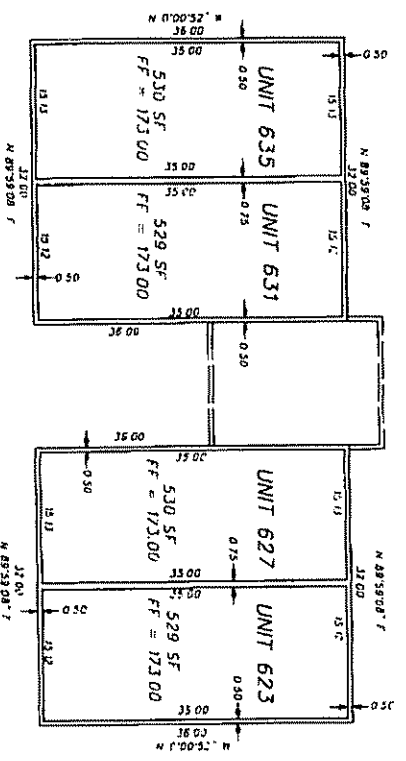
EAST FOURPLEX UPPER FLOOR UNIT DETAILS



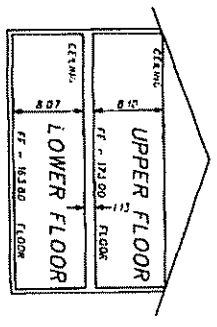
EAST FOURPLEX TYPICAL CROSS SECTION



WEST FOURPLEX UPPER FLOOR UNIT DETAILS



WEST FOURPLEX TYPICAL CROSS SECTION



NOTES:

1. Elevations based on City of Portland Bench Mark No. 100, a brass disk in the curb located 1 foot east of the southeast corner of North Commercial Avenue and North Fremont Street elevation 171.41 feet
2. All walls and floors shown on General Common Element Exterior walls shown reflect the foundation walls shown on sheet 1
3. All walls are 90 degrees at the corners unless noted otherwise
4. Upper floor units are directly above lower floor units shown on sheet 2

LEGEND

- DCE = General Common Element
- LCE = Limited Common Element
- FF = Finished Floor Elevation
- SF = Square Feet

I certify that this plan was prepared using the product specified on the certificate of registration.

REGISTERED PROFESSIONAL LAND SURVEYOR
 STEVEN P. BOWEN
 18700 SW 23rd St
 Portland, OR 97224

I certify that this tracing is a true and exact copy of the original plot

SHEET 3 OF 4

REPETTO & ASSOCIATES, INC.
 LAND SURVEYORS

1410 NE Hubbard Ave. Suite 101
 Portland, OR 97226
 (503) 408-1507
 Fax: (503) 408-2370

Date: Jan 28, 2000
 Drawn By: JHE
 Job No: 99034

SURVEYOR'S CERTIFICATE

1. Steven P. Buckles, certify that I have correctly surveyed and marked the boundary monuments the lands represented on the attached plat of FARGO ROW CONDOMINIUM, being a portion of the east 1/2 of Lot 10, Lots 11 through 14, Block 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, EXCEPT THAT PORTION DEDICATED FOR RIGHT OF WAY PURPOSES, SITUATED IN THE NW 1/4 OF SECTION 27, Township 1 North, Range 1 East, in the Multnomah County, Oregon, and that for the initial portion I used a found 5/8" iron rod with a yellow plastic cap stamped BUCKLES PLS 2231, at the southeast corner of said Document No. 2000-0251848, hence, along said south line, north 89°59'08" East, a distance of 181.21 feet to the west right of way line of North Ferry Avenue; thence, along the east line of said lot, north 89°59'08" East, a distance of 106.29 feet to the east line of said lot; thence, along the east line of said lot, north 89°59'08" East, a distance of 106.29 feet to the west right of way line of North Ferry Avenue; thence, along the east line of said lot, north 89°59'08" East, a distance of 106.29 feet to the blind point.

Steven P. Buckles
Steven P. Buckles - Oregon PLS No 2231

DECLARATION

Know all persons by these presents that Fargo Row Investment Co., LLC, an Oregon Limited Liability Company, does hereby declare the attached map of FARGO ROW CONDOMINIUM as declared in the accompanying and does hereby commit to the Department of Transportation of the Oregon Condominium Act as laid out in Chapter 100 of the Oregon Revised Statutes. The property and improvements described and depicted on the plat are subject to provisions of Oregon Revised Statutes 100.005 to 100.025.

Fargo Row Investment Co., LLC
An Oregon Limited Liability Company
By Tom Wash & Co., an Oregon Corporation, it's managing member

By *Tom Wash*
Tom Wash, President

ACKNOWLEDGEMENT

This certifies that on this 3 day of April, 2000, before me personally appeared Fargo Row Investment Co., LLC, an Oregon Corporation, duly authorized to execute the foregoing instrument, and that said instrument was a free of and done by him on behalf of said Corporation.

Steven P. Buckles
Notary Public for Oregon
My Commission Expires 8/21/01



APPROVALS

Approved this 5th day of April, 2000

County Surveyor
Multnomah County, Oregon
By *Robert A. Hynd*

All taxes, fees, assessments or other charges as provided by ORS 100.110 have been paid as of April 15, 2000

Director, Division of Assessment
and Taxation
Multnomah County, Oregon
By *Debra Swanson*
Deputy

State of Oregon }
County of Multnomah } s.s.
I do hereby certify that the attached condominium plat was received for record and recorded April 14 2000
on 143 P.M. in Book 12410
on Pages 34-37

County Recording Office
By *Spencer H. Moore*
Deputy
Document No 2000-0251848

FARGO ROW CONDOMINIUM
A REPLAT OF THE EAST HALF OF LOT 10, AND LOTS 11, 12, 13, AND 14, BLOCK 6, SUBDIVISION OF RIVERVIEW ADDITION TO ALBINA, EXCEPT THAT PORTION DEDICATED FOR RIGHT OF WAY PURPOSES, SITUATED IN THE NW 1/4 OF SECTION 27, T. 1 N., R. 1 E., WM., CITY OF PORTLAND, MULTNOMAH COUNTY, OREGON

BOOK 1246, PAGE 37

I, Steven P. Buckles, a registered professional land surveyor, do hereby certify that the plat of FARGO ROW CONDOMINIUM, fully and accurately depicts the boundaries of the units and of the buildings, and that construction of the units has been completed as on such plat, has been completed as of January 20, 2000

Steven P. Buckles
Steven P. Buckles - Oregon PLS No 2231

I certify that this plat was prepared using the product ESISAGA on Continental Paper polyester film

REGISTERED
PROFESSIONAL
LAND SURVEYOR
OREGON
STEVEN P. BUCKLES
EXPIRES 12/31/01

I certify that this tracing is a true and exact copy of the original plat

REPPETO & ASSOCIATES, INC. LAND SURVEYORS	
1410 NE 100th Ave. Suite 100 Portland, OR 97220 (503) 408-1507 Fax (503) 408-2370	DATE: Jan 26 2000 DRAWN BY: JWC JOB NO: 99014

SHEET 4 OF 4