

**ASSOCIATION OF UNIT OWNERS OF
FLANDERS LOFTS, A CONDOMINIUM**

Policy for Construction Defect Repairs

Resolution No. 2004-03

WHEREAS, the Board of Directors of Flanders Lofts Condominium is currently involved in an arbitration matter involving defective work performed by R&H Restorations Company;

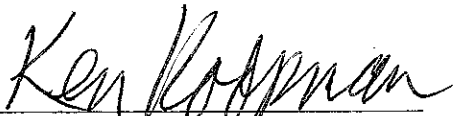
WHEREAS, the Board desires to create a uniform and systematic policy to handle repairs which necessitated by the defective work performed by R&H Restorations Company;

WHEREAS, the Board of Directors deems it to be in the best interest of the Association to adopt such a policy;

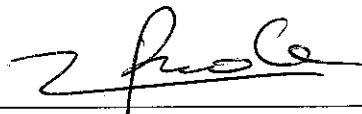
NOW BE IT RESOLVED THAT DURING THE PENDENCY OF THE DISPUTE BETWEEN THE ASSOCIATION AND R&H RESTORATION COMPANY:

1. Unless specifically authorized by paragraph 3 of this section, the Board shall not initiate, authorize, or pay for repairs out of Association funds relating to the defective work performed by R&H Restoration Company.
2. The Board shall have sole discretion to determine whether the repair is related to the defective work performed by R&H Restoration Company
3. In the event that a repair becomes necessary because of an emergency as determined by the Board, based on an evaluation of the governing documents, fire, life, safety or other building issues, the Board shall authorize the repair to be made as soon as reasonably possible. All such repairs shall be documented through photographs and separately accounted for with supporting documentation.

ATTEST:



Chair (President), Board of Directors
Association of Unit Owners of
Flanders Lofts, A Condominium



Secretary, Board of Directors
Association of Unit Owners of
Flanders Lofts, A Condominium

Date: 12/13/04